

FORM ONLY
DATE 12/21/88

ORDINANCE NO. 3053

ENTITLED: "AN ORDINANCE AMENDING ORDINANCE NO. 3020, SETTING THE PUD STANDARDS FOR MURRAY OFFICE PARK SECOND FILING, CHANGING THE LOT NUMBERING, PARKING RATIO PER LOT AND CLARIFYING THE BUILDING DENSITY.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CHEYENNE, WYOMING.

Section 1. That in accordance with Article V of the Cheyenne-Laramie County Zoning Ordinance, the Zoning Map as described in Section 30 for the area and property described as Murray Office Park Second Filing, A Replat Of Murray Office Park, A Subdivision of Lots 1 through 6, Block 8, together with vacated 20 foot alley and north half vacated 33rd Street lying adjacent to said lots, Prairie Hills Addition, Cheyenne-Laramie County, Wyoming, be changed from R-2 to P.U.D. zoning classification.

Section 2. That in accordance with Section 57.03 of the Cheyenne-Laramie County Zoning Ordinance, the following rules shall govern this P.U.D. zoning classification:

1. Principal Permitted Uses: General Office uses where the primary function involves providing a service(s) whether for monetary or non-profit purposes and where the secondary function involves the minor retail sale of goods or supplies. Such uses shall be principally permitted on Lots 1-9 of Murray Office Park Second Filing.
2. Conditionally Permitted Uses: Any retail use where the primary function involves the retail sale of goods or supplies in association with the functions of carrying out professional duties by those principally permitted uses described above. Such uses shall be conditionally permitted on Lots 1-9 of Murray Office Park Second Filing.
3. Minimum Lot Size: 72' by 68' equals 4896 sq.ft. equals 0.11 acres
4. Minimum Lot Width: 68' for Lots 1-9.
5. Density: 9 Buildings Maximum
6. Lot or Site Coverage: 60% Maximum for Lots 1-9, 0% for Lot 10.
7. Maximum Building Height: 2 Stories, 30'
8. Building Setbacks: Prairie Hills Drive - 15' *Changed to 8' by BOA 1989*
 Yellowstone Road - 20'
 West Property Line - 10'
 South Property Line - 10'
 All Other Interior Lot Lines - 6'
9. Design Performance Standards: All buildings shall be similar exterior finish as established by the covenants for Murray Office Park Second Filing. All drive lanes shall be of common use. All parking shall be directly proportionate to the needs of the particular use as established by Section 13 below. Pedestrian access shall be provided within the boundary of each lot ownership.
10. Buffering (Screening) Requirements: Screening shall consist of landscaping and earth berms with an average height of 3.5'. Screening shall be provided along Prairie Hills Drive and Yellowstone Highway. Screening shall be required along the rear property line (opposite of Yellowstone Highway) in the event and at the time the development of land bordering the rear property line is of single family residential use.
11. Common Open Space or Facilities: All of Lot 10, Murray Office Park Second Filing shall be common usage and benefit for landowners of Lots 1-9, Murray Office Park Second Filing for purposes of drive lane

12. Signage Requirements/Regulations:

- A. Two (2) temporary development/sales signs shall be allowed on site. Removal of the two (2) temporary development/sales signs must commence within 60 days of the issuance of the Certificate of Compliance for the building located on the last developable lot within Murray Hills Office Park.
- B. One (1) permanent development sign no higher than 15' above the established grade shall be allowed fronting on Yellowstone Highway.
- C. Directory signs shall be permitted throughout the development as specified by the developer in the Murray Office Park Second Filing covenants.
- D. Business signage shall be permitted on each building provided that each sign shall be attached flat against the building and no larger than 36" x 108" in size.
- E. Temporary sales signage after final development as specified by Section A above shall be permitted on each lot. Each temporary sales sign shall not exceed 24" x 36" in size.

13. Parking Requirements:

Standard 9' x 18.5' (or 17.5' w/2.5' overhang) equals 108 spaces
Handicapped - 12'x18.5'(or 17.5' w/2.5' overhang) equals 10 spaces
Total Spaces equal 118 spaces
Parking Ratio per Lot equals 13.1 spaces average.

- 14. Landscaping: All lots shall be provided with a minimum of 6 deciduous and/or coniferous type species of tree and a minimum of 6 shrubs. Each lot shall be landscaped with seed or sodded grass with a minimum coverage of 85% of the landscapable area of the lot exclusive of buildings and pedestrian sidewalks. The remaining coverage (15%) may consist of decorative rock or other similar material. Structural features similar to art works, stabilized land forms, fences and benches shall be permitted as specified by the developer in the covenants for Murray Office Park.
- 15. Easements: All of Lot 10, Murray Office Park Second Filing shall be utilized for vehicle, pedestrian, drainage and utility purposes. All additional easements shall be identified as recorded on the Final Plat for Murray Office Park Second Filing.
- 16. Restrictions: Each lot shall be maintained by each individual landowner in accordance with Chapter 29 of the City Code pertaining to nuisances prohibited. Each landowner shall be responsible for proper manicure and maintenance of landscape features. Outside storage of equipment and supplies shall not be permitted.
- 17. Building Construction Standard: Construction of buildings within Murray Office Park Second Filing, shall comply with all pertinent provisions of the Uniform Building Code as adopted by the City of Cheyenne and enforced concurrent with application of building permit.
- 18. Ownership and Maintenance of Development Facilities: Development facilities are herein described as all of Lot 10, Murray Office Park Second Filing and are established for the purpose of providing vehicle and pedestrian access as well as for drainage management, refuse removal by City Services, and utility installation. Ownership of said Lot 10, Murray Office Park Second Filing will reside with an organized Office Park Association as specified by the covenants of Murray Office Park Second Filing and said association shall assume full maintenance responsibility of Lot 10, Murray Office Park Second Filing.

Section 3. That the City Engineer of the City of Cheyenne or his designated representative alter and amend the adopted Zoning Map as described in Section 30 of the Cheyenne-Laramie County Zoning Ordinance to comply with the change of zone as described in Section 1 of this ordinance.

Section 4. That this ordinance shall be in full force and effect upon its publication.

FIRST READING:

December 27, 1988

SECOND READING:

January 9, 1989

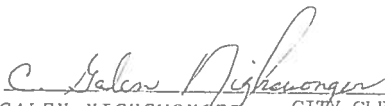
THIRD READING AND FINAL PASSAGE:

January 23, 1989


GARY SCHAEFFEL, MAYOR

(SEAL)

ATTEST:


C. GALEN NIGHSWONGER, CITY CLERK

Published: Eagle February 2, 1989