

APPENDIX No. 1

The Cheyenne and Laramie County Zoning Ordinance, 1988
for Planned Unit Development

This Appendix No. 1 to the Cheyenne and Laramie County Zoning Ordinance, 1988 shall apply to all lands in Block 5 of Mount View Park, an addition to the City of Cheyenne; and that portion of the vacated right-of-way of East Nineteenth Street as vacated under City Ordinance No. 2001 lying north of Block 5 hereinafter referred to as Cole Shopping Center.

Whereas, Cole Shopping Center has existed since the early 1950's; and

Whereas, Cole Shopping Center was planned and constructed under the zoning ordinance in effect at that time; and

Whereas, Cole Shopping Center was designated a PUD under the previous zoning ordinance;

Now therefore, do hereby declare Cole Shopping Center to be zoned under this zoning ordinance as a Planned Unit Development with the following standards as required by Section 40.030 of this zoning ordinance.

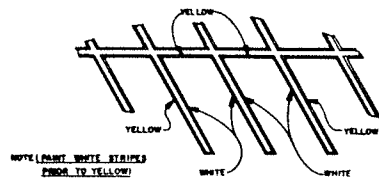
- (a) The land may be used for any combination of retail, service or office uses, including Medical office, Animal Hospital and all other uses as allowed in Community Business Districts listed as Uses By Right and all uses related thereto and commonly found in shopping centers.
- (b) The Board may have the right to approve any other use not allowed in (a) so long as it meets all other governmental regulations and has the written approval of the land owner.
- (c) The land shall be considered one lot, but may have separate ownership as long as there is only one central management for the entire PUD.
- (d) N/A
- (e) Present and future buildings shall be allowed in all locations as shown on the PUD & Site Plan Map for Cole Shopping Center.
- (f) The maximum building height shall not exceed 40' above the ground level. Signs, towers and pylons shall not exceed 60' above the ground level.
- (g) There shall be no required set backs from any property

lines.

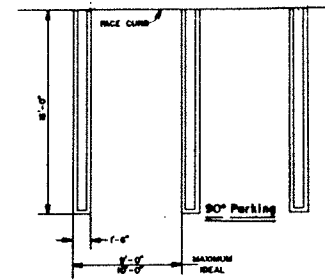
- (h) Expansion of buildings shall be allowed to conform to existing buildings. Buildings with canopies over public right-of-ways may be expanded using the same height and over hanging design as the existing buildings.
- (i) There shall be no buffing or screening requirements.
- (j) The parking areas within the PUD are for the use and enjoyment of all the business of the PUD only with controls as specified by the management as to where owners and employees may park. The management shall have complete control over the use and operation of the parking areas.
- (k) All signs shall have the written approval of the management of Cole Shopping Center. Signs shall be allowed on the roofs, the facia and the building fronts as well as free standing signs as from time to time may be approved by the Cole Shopping Center management.
- (l) Parking shall be under the control of Cole Shopping Center Management and shall be as shown on the PUD and Site Plan for Cole Shopping center. The design and layout of the parking spaces shall be as shown on the attached drawing to the above map titled "Standard Parking Layout Details". These plans indicate total parking in Cole Shopping Center at full development.
- (m) N/A
- (n) The common facilities shall at all times be under the ownership and control of the management and ownership of Cole Shopping Center.

This Appendix No. 1 has been adopted by the City Council of the City of Cheyenne on the date that the ordinance was adopted.

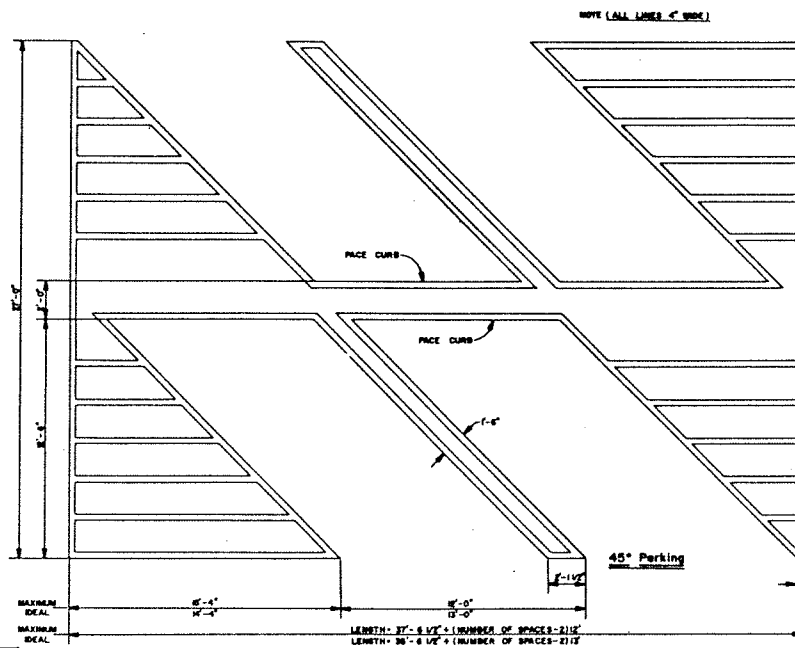
A:\APPENDIX



Employee Parking

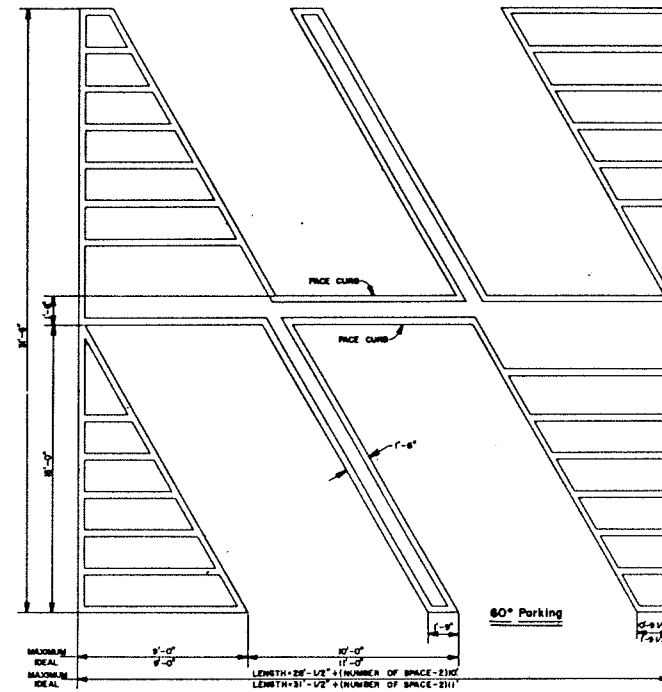


90° Parking



NOTE (ALL LINES 4" WIDE)

45° Parking



60° Parking

FRANK M. COLE
 CIVIL ENGINEER
 425 COLE SHOPPING CENTER
 CHEYENNE, WYOMING

COLE SHOPPING CENTER
 CHEYENNE, WYOMING

SCALE
 HORIZ
 VERT

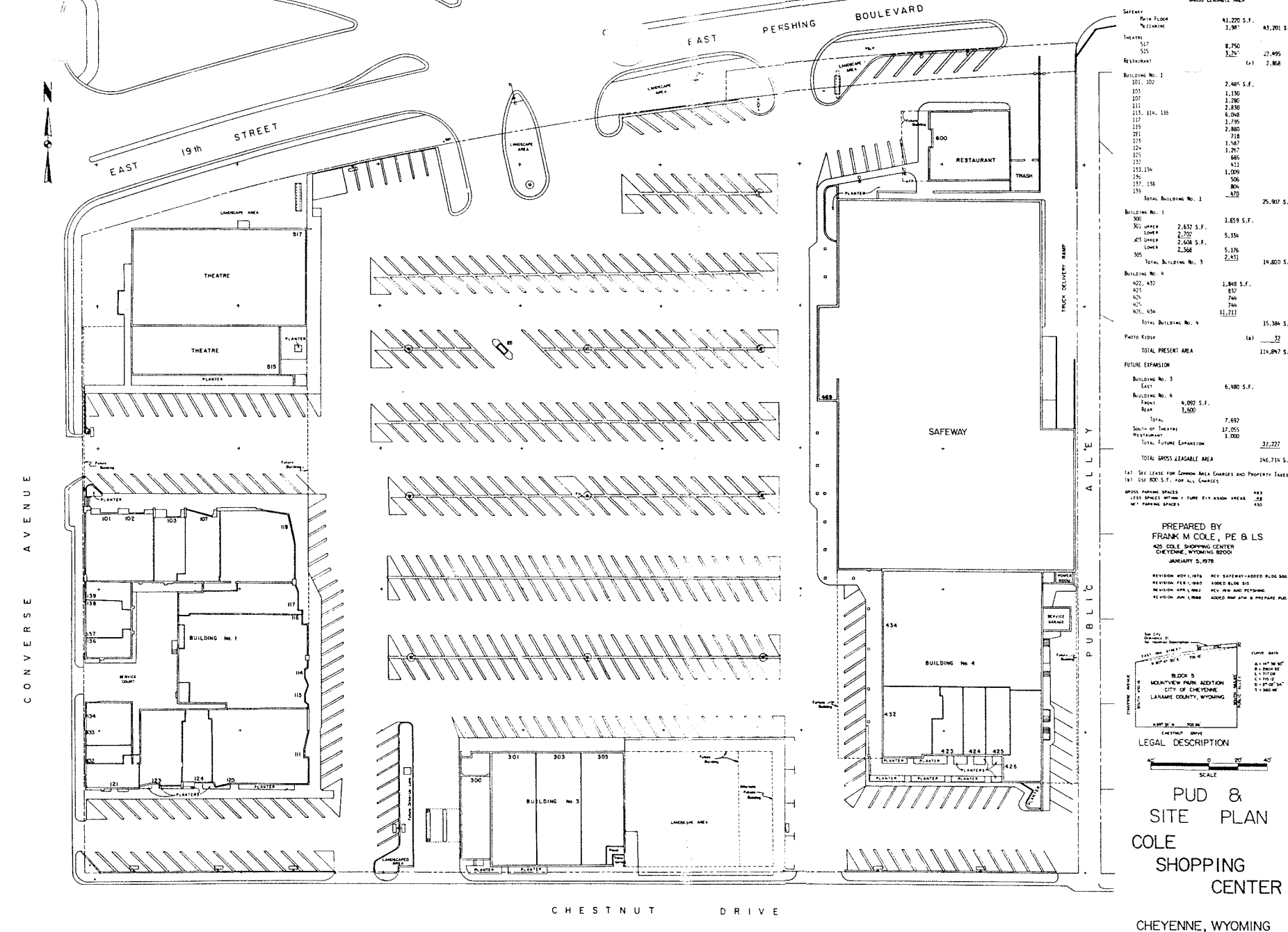
COLE CORPORATION
 425 COLE SHOPPING CENTER
 CHEYENNE, WYOMING

DATE WORK
 DRAWN
 CHECKED
 P.M.C.

DATE
 TTB
 CHECKED
 P.M.C.

STANDARD
 PARKING LAYOUT DETAILS

DATE SHEET NO.
 8-20-60 1
 PROJECT NO.
 1



GROSS LEASABLE AREA

Safeway	Main Floor	41,200 S.F.	
	MEZZANINE	1,981	43,201 S.F.
THEATRE	517	8,750	
	515	3,226	27,495
RESTAURANT	(a)		27,868
BUILDING No. 1			
301	100	2,485 S.F.	
303		1,130	
307		1,200	
311		2,830	
313	114, 116	6,048	
317		1,795	
319		2,880	
321		1,547	
323		718	
324		1,267	
325		1,587	
327		885	
329		812	
331		1,009	
334		506	
337	138	80	
339		870	
TOTAL BUILDING No. 1			25,907 S.F.
BUILDING No. 3			
300		1,859 S.F.	
302	Upper	2,832 S.F.	
	Lower	2,302	5,334
305	Upper	2,608 S.F.	
	Lower	2,368	5,176
309		2,831	
TOTAL BUILDING No. 3			14,807 S.F.
BUILDING No. 4			
422, 432		1,848 S.F.	
424		837	
426		744	
428		744	
430, 434		11,211	
TOTAL BUILDING No. 4			15,384 S.F.
PHOTO EVIDENCE	(a)		32
TOTAL PRESENT AREA			114,867 S.F.
FUTURE EXPANSION			
BUILDING No. 5			
EAST		6,480 S.F.	
BUILDING No. 6			
FRONT		4,092 S.F.	
REAR		3,500	
TOTAL			7,692
SOUTH OF THEATRE		17,055	
RESTAURANT		1,000	
TOTAL FUTURE EXPANSION			33,727
TOTAL GROSS LEASABLE AREA			148,714 S.F.

(a) SEE LEASE FOR COMMON AREA CHARGES AND PROPERTY TAXES
 (b) 537 800 S.F. FOR ALL CHARGES

GROSS PARKING SPACES
 LESS SPACES WITH IN-TUNE REF. ROOM AREAS 288
NET PARKING SPACES 432

PREPARED BY
FRANK M. COLE, PE & LS
 425 COLE SHOPPING CENTER
 CHEYENNE, WYOMING 82001
 JANUARY 5, 1978

REVISION 001-1-1978 REV. BASEMENT-ADDED BLDG 300
 REVISION FEB-1980 ADDED BLDG 515
 REVISION APR-1982 REV. PER AND PERSHING
 REVISION JUN-1988 ADDED MAP DATA & PREPARE PUD

City of Cheyenne
 Planning Department
 BLOCK 5
 MOUNTAIN VIEW ADDITION
 CITY OF CHEYENNE
 LARAMIE COUNTY, WYOMING

LEGAL DESCRIPTION
 SCALE 1" = 40'

PUD & SITE PLAN
COLE SHOPPING CENTER
 CHEYENNE, WYOMING

APPROVALS
 Owner _____
 Tenant _____