

9 Aug 84

ORDINANCE NO. 2832

ENTITLED: "AN ORDINANCE AMENDING SECTION 30 OF THE CHEYENNE-LARAMIE COUNTY ZONING ORDINANCE BY CHANGING THE ZONING CLASSIFICATION OF LOT 1, BLOCK 1, LIFE CARE CENTER, CHEYENNE, LARAMIE COUNTY, WYOMING (NORTHEAST QUADRANT OF THE INTERSECTION OF PRAIRIE AVENUE AND POWDERHOUSE ROAD) FROM R-3 TO PUD."

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CHEYENNE, WYOMING:

Section 1. That in accordance with Article V of the Cheyenne-Laramie County Zoning Ordinance, the zoning map as described in Section 30 for the area and property described as Lot 1, Block 1, Life Care Center, Cheyenne, Laramie County, Wyoming, be changed from R-3 to PUD zoning classification.

Section 2. That in accordance with Section 57.03 of the Cheyenne-Laramie County Zoning Ordinance, the following rules shall govern this PUD zoning classification:

1. Principal Permitted Uses

The following shall be permitted uses:

- A. A 100-bed nursing facility with room for expansion to provide a total of 180 beds. Patient rooms shall be one bed or two bed units. All ancillary services typical to this type of facility shall be provided on site including administrative, food prep, dining, laundry nursing, and recreation facilities.
- B. A 132 unit retirement apartment and personal care facility. Patient rooms shall be studio, alcove, one bed or two bed units. All ancillary services typical to this type of facility shall be provided on site including administrative, food prep, dining, and recreational facilities.
- C. Covered parking for vehicles (carports) shall be a permitted use on the site.

2. Conditionally Permitted Use

None

3. Minimum Lot Size

The area of the site shall be not less than 8 acres which shall constitute one lot.

4. Minimum Lot Width

None

5. Density

None

6. Site Coverage

Buildings on the lot, excluding covered parking, shall not cover more than 22% of the gross land area of the lot. Covered parking shall not cover more than 2% of the gross land area of the lot.

7. Maximum Building Height

The maximum building height of the retirement apartment and personal care facility shall not exceed 40 feet from first floor finish elevation to the ridge line of the roof. The nursing facility shall be one-story and not exceed 25 feet in height.

8. Setbacks

All buildings shall be setback from property lines as follows:

<u>Property Line</u>	<u>Minimum Setback</u>
North (rear)	50-foot except there is no setback for the carports
West (side)	25-foot
South (front)	30-foot for the nursing facility 60-foot for the retirement apartments and personal care facility
East (side)	45-foot

Minimum distance between all major buildings shall be 100 feet.

9. Design Performance Standards

The design performance standards shall be as follows:

- A. Buildings shall be of residential character.
- B. Walls: wood or steel studs with gypsum wallboard at interior; wood siding and/or brick veneer at exterior.
- C. Floors and roof: wood or steel joists or trusses.
- D. Roofing material: asphalt shingles, concrete tiles or built-up roofing.

10. Buffering Requirements

There shall be both a fence and a landscape buffer along the north and east property lines. The fence shall begin 40 feet east of the west property line and connect to the west end of the carports. The fence will continue at the east end of the carports and continue east and south to a point 40 feet north of the south property line. The frontage along Powder House Road and Prairie Avenue shall be landscaped.

11. Common Open Space

None (Landscaping is covered in paragraph 14).

12. Signage

A permanent project identification sign is permitted at each entrance. The signs shall be of a design compatible with the architecture of the project. The signs shall be of a monument type and shall not exceed 4 feet in height nor 12 feet in length. There may be other signs, both free-standing and on the buildings, to assist in locating specific building functions and for general information. During construction there may be signs not to exceed 8-foot high by 16-foot wide as needed to market the project.

13. Parking Requirements

Parking shall be provided at a rate of one per three units and employees at the retirement apartments for a total of 48 spaces. Parking shall be provided at a rate of one per three beds and employees at the nursing facility for a total of 51 spaces. Area shall be set aside for 42 future spaces to be built at the time of the future nursing facility expansion, if deemed necessary. Two percent of all spaces shall be reserved for the physically handicapped.

14. Landscaping

Landscaping shall be in accordance with the buffering requirements and common open space sections of this Ordinance. The minimum requirements are as follows:

Plantings

Deciduous Trees	80
Evergreen Trees	8
Shrubs	50
	<hr/>
Total	138

Groundcover

Lawn - All landscaped areas will be hydro-mulched or sodded.

An underground watering system shall be installed for irrigation of the landscaping.

15. Easements

Easements are as shown on the final plat for Life Care Center.

16. Restrictions

A 5-foot minimum, 6-foot maximum height fence shall be installed along the north and east property lines, beginning 40 feet from the intersecting property lines along Prairie Avenue and Powder House Road.

B. Trash enclosures shall be screened with landscaping or fencing compatible with the building architecture.

17. Building Construction Standards

The construction shall conform to all appropriate building codes.

18. Maintenance of Facilities

The property owner shall be responsible for all maintenance of the area including landscaping, parking and recreation facilities, except utilities within granted easements.

Section 3: That the City Engineer of the City of Cheyenne or his designated representative alter and amend the adopted Zoning Map as described in Section 30 of the Cheyenne-Laramie County Zoning Ordinance to comply with the change of zone as described in Section 1 of this ordinance.

Section 4: That the City Clerk of the City of Cheyenne file a copy of this ordinance with the County Clerk and Ex-Officio Register of Deeds for Laramie County, Wyoming.

Section 5: That this Ordinance shall be in full force and effect upon publication.

FIRST READING:

August 13, 1984

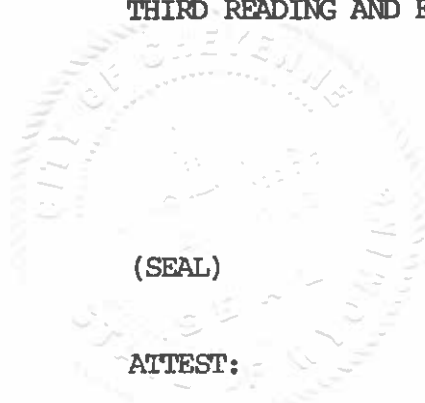
SECOND READING:

August 27, 1984

THIRD READING AND FINAL PASSAGE:

Sept. 10, 1984

  
DON ERICKSON, MAYOR



(SEAL)

ATTEST:

  
DIANA DEAGÜERO, CITY CLERK